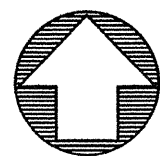
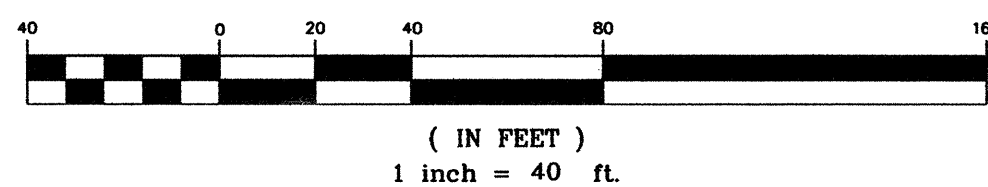


LOCATION MAP  
N.T.S.



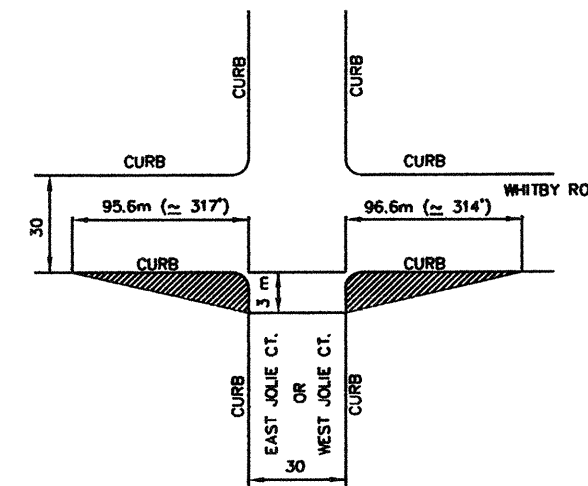
GRAPHIC SCALE



SUBDIVISION NAME: THE PLAZA ON WHITBY ROAD  
MASTER DEVELOPMENT PLAN ID: JAIME ARECHICA  
OWNER: 1616 CALLE DEL NORTE #48 LAREDO, TEXAS 78041  
DEVELOPER: S.A. ALLIANCE & ASSOCIATION LTD. 1616 CALLE DEL NORTE #48 LAREDO, TEXAS 78041  
DESIGNER / ENGINEER: G.E. REAVES ENGINEERING, INC. 1017 CENTRAL PKWY. N. STE. 100  
ADJACENT PROPERTY OWNERS: SEE ATTACHED BEXAR APPRAISAL DISTRICT EXHIBIT  
LEGAL: N.C.B. 14657, BLOCK E, LOT 24  
UTILITIES: SEE ATTACHED UTILITY PLAN  
PROPOSED LAND USE: THE PROPOSED LAND USE IS TOWNHOUSES, EACH STRUCTURE WILL CONTAIN TWO SINGLE FAMILY UNITS, HAVING APPROXIMATELY 13.6 UNITS PER ACRE.  
FLOOD PLAIN: THERE IS NO FLOOD PLAIN ON THE PROPERTY.  
E.A.R.Z.: THE PROPERTY IS NOT LOCATED OVER THE EDWARDS AQUIFER RECHARGE ZONE.  
STREET: THE STREETS WILL BE PRIVATE.  
GATED STATUS: THE SUBDIVISION WILL NOT BE GATED.  
NUMBER OF PHASES: THE SUBDIVISION WILL BE DEVELOPED IN ONE PHASE.  
BASIS OF BEARING: THE BASIS OF BEARING IS N.A.D. 83 TEXAS SOUTH CENTRAL ZONE USING U.S. SURVEY FEET.  
PROPERTY ZONING: THE PROPERTY IS ZONED MF25 P.U.D.  
ALLOWABLE INTENSITY: THE MAXIMUM ALLOWABLE DENSITY FOR THIS TOWNHOUSE DEVELOPMENT IS 20 UNITS PER ACRE. (20 UNITS/AC \* 3.241 AC = 64.82 ~ 64 UNITS) THE PROPOSED P.U.D. DENSITY IS 13.6 UNITS PER ACRE. (13.6 UNITS/AC \* 3.241 AC = 44 UNITS) WHICH IS WITHIN THE ALLOWABLE MAXIMUM DENSITY.

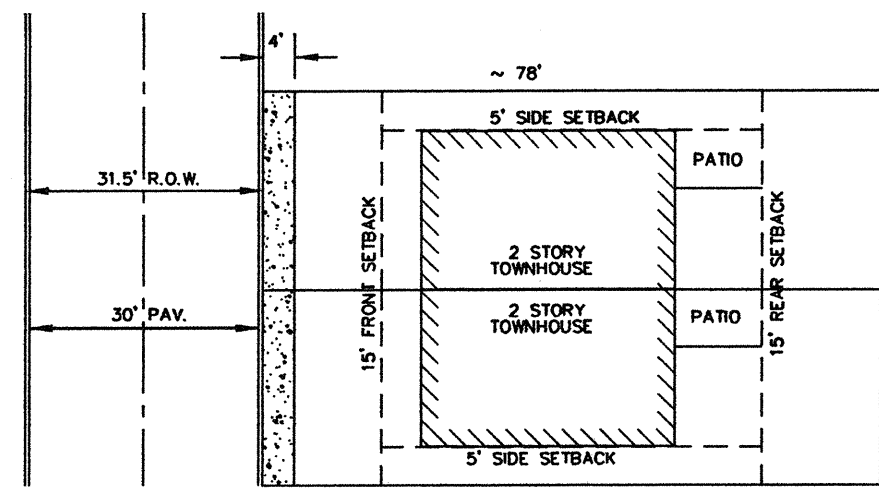
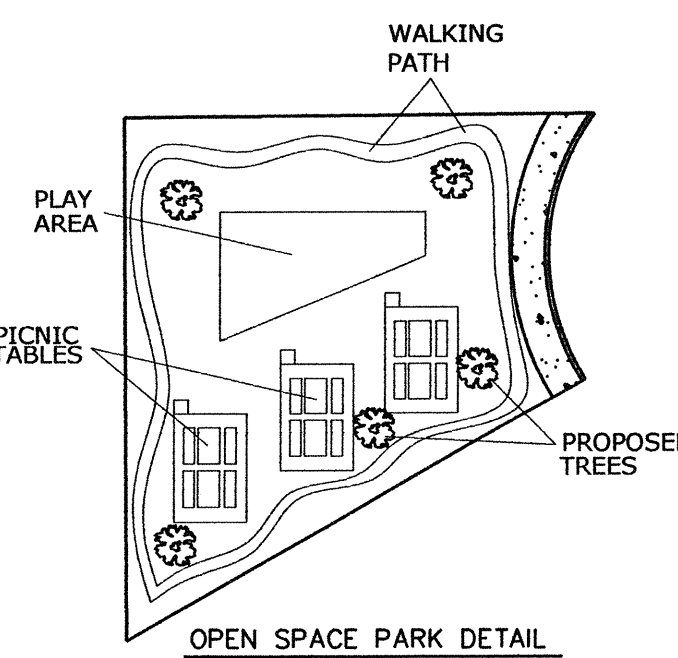
TOTAL PROPERTY ACREAGE: 3.241 ACRES  
TOTAL NUMBER OF DWELLING UNITS: 44  
PAVED SQUARE FOOTAGE: 28,035 S.F.  
PROPOSED UNIT SQUARE FOOTAGE: 1,600 S.F.  
RESIDENTIAL DENSITY UNITS PER ACRE: 13.6  
RATIO OF RESIDENTIAL USAGE: 100%  
TOTAL AREA OF PASSIVE OPEN SPACE: 52,744 S.F. = 1.21 AC  
TOTAL AREA OF ACTIVE OPEN SPACE: 3,455 S.F. = 0.08 AC  
TOTAL NUMBER OF OFF-STREET PARKING: 88  
CALCULATIONS:  
DENSITY: 44 UNITS / 3.241 ACRES = 13.6 UNITS PER ACRE  
REQUIRED OPEN SPACE AREA: 44 UNITS \* (1/114) = 0.386 ROUNDED TO NEAREST TENTH: 0.4 AC  
THE DEVELOPER PLANS TO INSTALL PICNIC TABLES IN THE OPEN SPACE AREA AT A RATIO OF TWO PICNIC TABLES PER ACRE. THUS THE REQUIREMENT FOR OPEN SPACE DROPS TO 0.1 AC.  
VARIANCE REQUESTS:  
1. THE VARIANCE IS FOR THE REDUCTION OF R.O.W. FROM 50 FT. TO 31.5 FT., WHICH WILL INCLUDE THE PAVEMENT WIDTH AND THE CURBS.  
2. THE VARIANCE IS FOR THE REDUCTION OF THE REQUIRED OPEN SPACE AREA FROM 0.1 AC (4,356 S.F.) TO 0.08 (3,455 S.F.).

CLEAR VISION AREA NOTE  
ACCORDING TO THE 1994 AASHTO GREEN BOOK, THIS EQUATION APPLIES ONLY FOR CASE IIB AND CASE IIC, WHERE TRAFFIC ON THE MINOR ROAD MUST STOP PRIOR TO ENTERING A MAJOR ROADWAY.  
TWO BASIC MANEUVERS FOR THESE INTERSECTIONS ARE TO TURN LEFT INTO THE CROSSING ROADWAY BY FIRST CLEARING TRAFFIC ON THE LEFT AND THEN TO ENTER THE TRAFFIC STREAM WITH VEHICLES FROM THE RIGHT AND TO TURN RIGHT INTO THE INTERSECTING ROADWAY BY ENTERING THE TRAFFIC STREAM FROM THE LEFT  
CASE IIB  
SD = 0 - h  
WHERE: SD = REQUIRED SIGHT DISTANCE FOR LEFT TURN MANEUVER  
O = DISTANCE TRAVELED BY ONCOMING TRAFFIC TO REDUCE SPEED TO 85% OF DESIGN SPEED AND NOT ENCR OACH ON THE TURNING VEHICLE  
h = P - 5m - (0.56 \* 85% OF DESIGN SPEED) - VEHICLE LENGTH  
P = DISTANCE REQUIRED FOR TURNING VEHICLE TO REACH 85% OF DESIGN SPEED.  
CASE IIC  
PER 1994 AASHTO GREEN BOOK (P.716) THE DISTANCE REQUIRED TO TURN RIGHT MANEUVER IS APPROXIMATELY ONE METER LESS THAN REQUIRED FOR A LEFT TURN MANEUVER AS OUTLINE FOR CASE IIB.



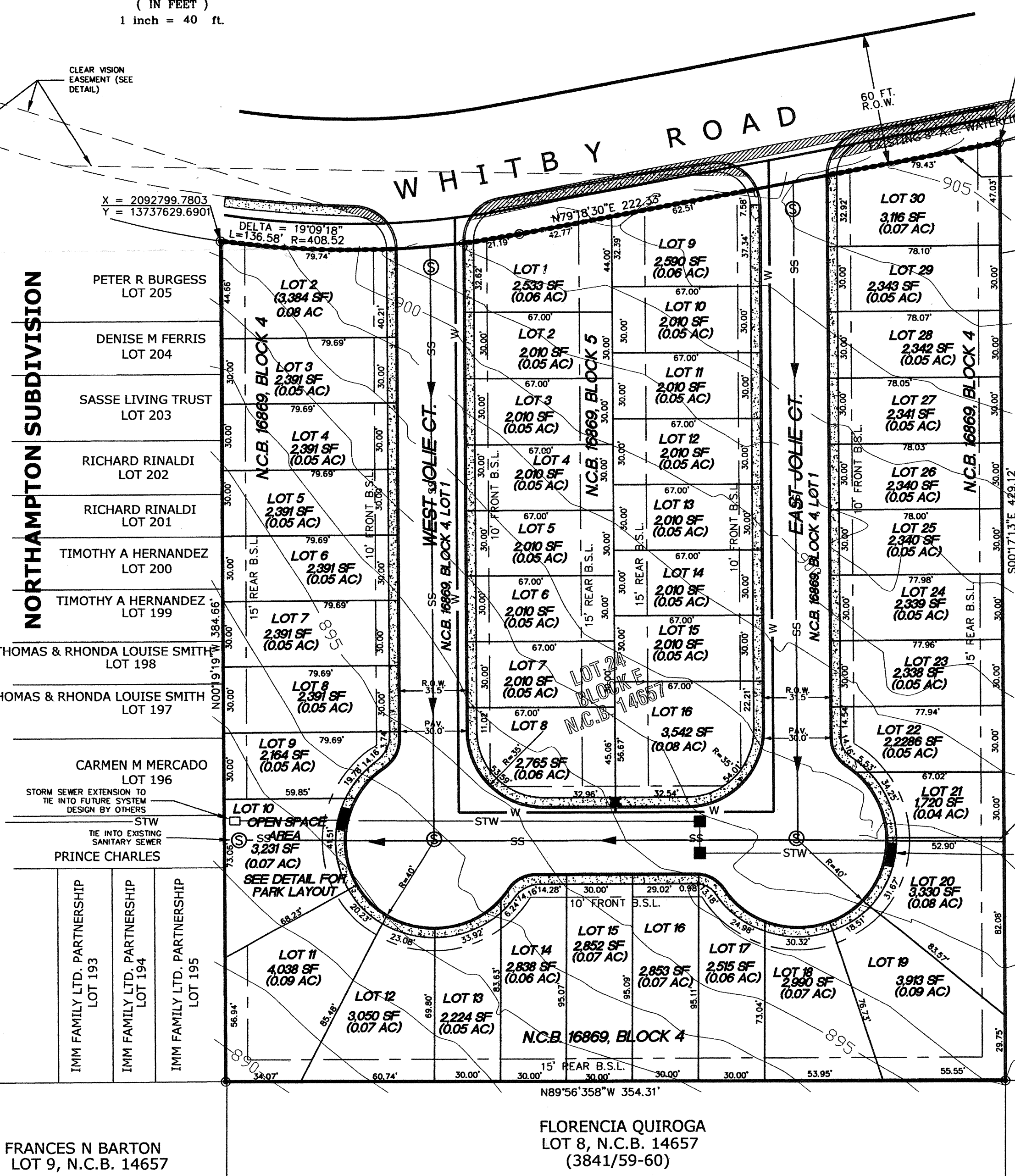
CLEAR VISION AREA DETAIL  
PER FIGURE IX-32 OF THE 1994 AASHTO GREEN BOOK

# THE PLAZA ON WHITBY ROAD MASTER DEVELOPMENT PLAN ID NO. \_\_\_\_\_



GARAGES ARE TO BE LOCATED 20' FROM CURB  
THIS P.U.D. HAS BEEN SUBMITTED TO THE CITY OF SAN ANTONIO, TEXAS, AND HAVING BEEN REVIEWED BY THE CHAIRPERSON, IS HEREBY APPROVED.  
DATED THIS \_\_\_\_ DAY OF \_\_\_\_ A.D. \_\_\_\_

THIS P.U.D. HAS BEEN SUBMITTED TO THE CITY OF SAN ANTONIO, TEXAS, AND HAVING BEEN REVIEWED BY THE SECRETARY, IS HEREBY APPROVED.  
DATED THIS \_\_\_\_ DAY OF \_\_\_\_ A.D. \_\_\_\_



WEST: 3.384 ACRES OF LOT 25, BLOCK E, N.C.B. 14657

EAST: 3.943 ACRES OF LOT 25, BLOCK E, N.C.B. 14657

LOT 25  
7.327 ACRES  
JAIME ARECHICA, ET. AL.  
ALAMO FARMSTEADS SUBDIVISION  
(VOL. 980, PGS. 373-374)

02 APR 12 PM 3:22  
CITY OF SAN ANTONIO  
DEPARTMENT OF PLANNING

APPROVED  
PLANNED UNIT DEVELOPMENT  
Planned Unit Development  
City of San Antonio  
City Engineer  
May 8, 2002  
May 8, 2002

THE PLAZA ON WHITBY ROAD  
PLANNED UNIT DEVELOPMENT PLAN  
WHITBY ROAD  
SAN ANTONIO, TEXAS

JOB NO. 00-0226  
DATE: 06/07/01  
DESIGNER: JMG  
CHECKED: RPT  
DRAWN: JMG  
SHEET

C.01

# 00-019



**A memo from the**  
**City of San Antonio**  
**Planning Department**  
**Master Development**

**TO:** Arnulfo Gonzalez

**DATE:** May 8, 2002

**FROM:** Michael O. Herrera, Senior Planner

**COPIES TO:** File

**SUBJECT:** # 01-019

**Name:** The Plaza on Whitby Road

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The plat or plan referenced above was heard by the ☒ Planning Commission

☐ Director of Planning COSA

on the date shown.

The following action was taken:

☒ APPROVED  
☐ DISAPPROVED

A plat will not be recorded pending site improvements, the required guarantee is posted or payment of impact fees are paid (or filed).

If you have any questions regarding please call Mr. Michael O. Herrera @ 207-7038